

ORDINANCE NO. 2020-696

AN ORDINANCE OF THE CITY OF CEDAR HILL, TEXAS AMENDING THE ZONING ORDINANCE, ORDINANCE NO. 2001-64, AS AMENDED; BY AMENDING THE ZONING MAP DISTRICT CLASSIFICATION OF CERTAIN PROPERTY LOCATED ON THE SOUTH SIDE OF MANSFIELD ROAD AND ANDERSON ROAD, LEGALLY DESCRIBED AS TRACTS 11.4, 11.5 AND 14.4 OF THE JOHN N. GAINER SURVEY ABSTRACT NO. 492 AND PORTION OF PARCEL F OF THE LAKE RIDGE SECTION 4 PHASE I ADDITION, FROM THE “NS” (NEIGHBORHOOD SERVICES) DISTRICT; “SF-7” (SINGLE-FAMILY RESIDENTIAL – MINIMUM 7,000-SQUARE-FOOT LOTS) DISTRICT; “SF-E” (SINGLE-FAMILY ESTATES RESIDENTIAL – MINIMUM 1 ACRE LOTS) DISTRICT TO THE “PD” (PLANNED DEVELOPMENT) DISTRICT; INCORPORATING A CONCEPT PLAN ESTABLISHING SPECIFIC STANDARDS; PROVIDING FOR CONFLICTS, A SEVERABILITY CLAUSE, PROVIDING AN EFFECTIVE DATE, AND PROVIDING FOR PUBLICATION.

WHEREAS, a request for a change in zoning classification from the “NS” (Neighborhood Service) District; the “SF-7” (Single-Family Residential – minimum 7,000-square-foot lots) District; the “SF-E” (Single-Family Residential – minimum 1 acre lots) District to the “PD” (Planned Development) District, was duly filed with the City of Cedar Hill, Texas, and was assigned case no. PD-159-2019; and

WHEREAS, the zoning classification of the subject property and the surrounding area are shown on **Exhibit “A”**; and

WHEREAS, the proposed “PD” (Planned Development) District is accompanied by a Concept Plan that depicts the proposed development for the non-residential development and the single-family development; and

WHEREAS, the proposed “PD” District is in conformance with the City's adopted Comprehensive Plan, as amended; and

WHEREAS, the City of Cedar Hill caused notice of the required public hearings regarding the zoning change to this Ordinance to be published in the Focus Daily News on January 5, 2020, and mailed notice to property owners within 200 feet of the subject property; and

WHEREAS, the City's Planning and Zoning Commission held a public hearing and accepted comments regarding the zoning change of this Ordinance on January 21, 2020 and February 4, 2020; and

WHEREAS, following its public hearing, the Planning and Zoning Commission forwarded its report and recommendation regarding this Ordinance to the City Council; and

WHEREAS, the City Council, after conducting a public hearing on February 11, 2020, found the proposed amendment to be in the best interests of the City of Cedar Hill.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CEDAR HILL, TEXAS, THAT:

SECTION 1 – PROPERTY DESCRIPTION. Approximately 25.11 acres legally described as Tracts 11.4, 11.5, and 14.4 of the John N Gainer Survey. Abstract No. 492, and portion of Parcel F of the Lake Ridge Section 4, Phase I Addition, and being more particularly described in **Exhibit “A”**, which is attached hereto and incorporated by reference herein as if fully set forth.

SECTION 2 – PROPOSED CHANGE IN ZONING DISTRICT CLASSIFICATION. From “NS” (Neighborhood Service) District, “SF-E” (Single-Family Residential – minimum 1-acre lots) District and “SF-7” (Single-Family Residential – minimum 7,000-square-foot lots) District to “PD” (Planned Development) District.

SECTION 3 – APPLICABILITY. The property described in Section 1 above shall be subject to the regulations set forth in this ordinance and Chapter 23, entitled “Zoning Ordinance” of the Code of Ordinances of the City of Cedar Hill, Texas, as amended.

SECTION 4 – PURPOSE AND INTENT. The purpose and intent of this Planned Development District is to provide for single-family residential dwellings and development of neighborhood services in close proximity to the proposed and existing single-family uses in accordance with the development standards as herein provided, and, in accordance with the attached Concept Plan.

SECTION 5 – CONCEPT PLAN. Development of this property shall be consistent with the Concept Plan – **Exhibit “B”**, Single-Family Residential Building Elevations – **Exhibit “C”**; and Non-Residential Building Elevations – **Exhibit “D”**. Any significant change in the information provided on those exhibits shall require an amendment to the Planned Development District in the same manner that it was created.

SECTION 6 – DEVELOPMENT PLAN. A Development Plan shall be required to be submitted concurrent with or prior to submittal of a preliminary plat, as described in Section 3.19 of the “Zoning Ordinance”.

SECTION 7 – SITE PLANS. Site plan(s) shall be required to be submitted prior to any construction or development within the Commercial Subdistrict in accordance with the standards in Section 3.19 of the “Zoning Ordinance”.

SECTION 8 – SUBDISTRICTS. The Planned Development District consists of the following Subdistricts as depicted on **Exhibit “B”**, Concept Plan:

- A. Commercial Subdistrict – approximately 2.98 acres labeled as Tract 1
- B. Residential Subdistrict – approximately 22.13 acres (includes approximately 4.23 acres of open space) depicted as Tracts 2 – 8

SECTION 9 – DEFINITIONS. The definitions in Section 5.8 of the “Zoning Ordinance” shall be applicable to this Planned Development District with the exception of those terms defined in this Section.

- A. *Conservation Area* – An area of land that is protected and that cannot be built on that would require the clear cutting of existing trees for a building pad. Passive recreation activities, such as a nature trail and/or small picnic areas may be permitted with approval.
- B. *General merchandise and food store 10,000 square feet or less with fresh produce* – Shall be defined as the term “general merchandise and food store 10,000 square feet or less” in Section 5.8 of the “Zoning Ordinance”, but includes the sale of fresh produce on a minimum of ten (10) percent of the useable square footage.
- C. *Same Elevation* – The exterior front wall that is substantially the same, including but not limited to materials, design features and material colors. A change in colors and materials does not satisfy a different elevation.

SECTION 10 – AUTHORIZED LAND USES.

- A. *Commercial Subdistrict* – Land uses shall be permitted and prohibited within this Subdistrict in the same manner as they are permitted and prohibited within the “NS” – Neighborhood Service District in Section 3.11 of the “Zoning Ordinance”.
- B. Additionally, the following main uses are permitted by right in this Subdistrict:

1. One drive-through facility shall be permitted in association with a restaurant in the "Village Market" Building as depicted on the Concept Plan. Alcoholic beverage sales shall be prohibited through the drive-through facility
2. General merchandise and food store 10,000 square feet or less with fresh produce on a minimum of ten (10) percent of the useable square footage.
3. Restaurant (carry out or delivery)
4. Restaurant

C. The following uses are permitted with a Conditional Use Permit:

1. Massage Therapy

D. The following main uses are prohibited:

1. Animal Pound (Public) Municipal
2. Appliance Repair
3. Audio Recording Studio
4. Banquet Facilities
5. Batching Plant (Temporary)
6. Bed & Breakfast Hotel
7. Boat Basing/Floating Boat Storage
8. Boat Launching Ramp
9. Broadcast Station (with Tower)
10. Broadcast Towers/Antennas
11. Camping and RV Campground with Office
12. Carnival, Circus, or Tent Service (Temporary)
13. Cellular Communications Towers /Antennas
14. Collection Container (less than 60 cubic feet in size)
15. College Dormitory (on campus)
16. Communication Equipment (installation and/or repair no outdoor sales or storage)
17. Computer Sales
18. Day Camp
19. Electrical Generating Plant
20. Electrical Substation
21. Emergency Care Clinic
22. Farms, General (Crops)
23. Farms, General (Livestock/Ranch)
24. Forestry and Tree Harvesting
25. Fraternity/Sorority House
26. Gasoline and fuel sales
27. General Merchandise and Food Store 10,000 square feet or less

28. General Merchandise and Food Store greater than 10,000 square feet
29. Hardware Store
30. Laundry/Dry Cleaning (Self-Service)
31. Mailing Service (Private)
32. Non-Commercial Radio Tower Less Than 35 feet high
33. Non-Commercial Radio Tower Between 35-65 feet high
34. Non-Commercial Radio Tower Greater than 65 feet high
35. Orchard/crop Propagation
36. Plant Nursery (Retail sales / outdoors)
37. Propane and Fuel Sales (Retail - Replacement Tanks) (Accessory Use)
38. Recycling Kiosk
39. Shoe repair
40. Solar Panel System Primary Use
41. Municipal – Fire Station
42. Municipal – Inoperable Vehicle / Impound Lot
43. Municipal – Public Parking lot
44. Municipal – Police Station
45. Municipal – Recreation Center
46. Municipal – Sanitary land fill
47. Municipal – Sewage Pumping Station
48. Municipal – Wastewater Treatment Plant
49. Municipal – Water Supply Facility (Elevated Water Storage)
50. Municipal – Water Treatment Plant
51. Non-Profit Activities by Church
52. Orphanage
53. Philanthropic Organization
54. Post Office (Governmental)
55. Rectory/Parsonage
56. Retirement Home/Home for the Aged
57. School, K through 9 (Private)
58. School, K through 9 (Public)
59. School, Secondary, 10-12 (Private or Public)

E. *Residential Subdistrict* – The only land uses that shall be permitted within this subdistrict is single-family dwelling, detached and open space.

SECTION 11 – COMMERCIAL SUBDISTRICT. The development standards in Section 3.11 of the “Zoning Ordinance” for the “NS” – Neighborhood Services shall be applicable to this subdistrict except where stated in this section.

A. *Maximum Height* – 30 feet

B. *Maximum Floor Area* – The cumulative maximum floor area in the Commercial Subdistrict for all buildings shall not exceed 17,800 square feet.

C. *Building Design Standards* – The buildings shall comply with Section 5.7 of the “Zoning Ordinance” for the “NS” – Neighborhood Service District and shall be in accordance with the non-residential building elevations in **Exhibit “D”**, which have been volunteered by the property owner as a standard for construction of future buildings.

D. *Landscaping Requirements* –

1. Landscaping requirements described in Section 5.2 of the “Zoning Ordinance” shall apply to this subdistrict except as described in this subsection.
2. Landscape setback along Anderson Road – A minimum 20-foot landscape setback is required with one medium or large canopy tree every 30 feet, spaced on center, and may count towards the required street yard trees.
3. Side landscape setback (adjacent to residential) – A minimum 20-foot landscape setback is required with large size evergreen trees, spaced 20 feet on center.

E. *Screening Requirements* –

1. Screening requirements described in Section 5.3 of the “Zoning Ordinance” shall apply to this subdistrict except as described in this subsection.
2. Screening for the rear lots along Anderson Road shall be subject to Section 5.3.2 of the Zoning Ordinance when a PD site plan is submitted for development of the commercial subdistrict. An alternative screening method may be considered per Section 5.3.2(d) during the PD Site Plan.
3. Dumpster location shall not be located adjacent to residential properties.

F. *Signage* – Pole signs are prohibited.

SECTION 12 – RESIDENTIAL SUBDISTRICT. The development standards in Section 3.8 of the Zoning Ordinance for the “SF-7” (Single Family Residential District – minimum 7,000 square foot lots) District shall be applicable to this subdistrict except where stated in this section.

A. *Yard Requirements*

1. Minimum Front Yard (Fountain View Blvd., east of Anderson Rd.) – 30 feet

2. Minimum Side Yard (street) – 20 feet, corner lots contiguous to lots that have a single frontage
 3. Minimum Rear Yard (lots fronting Fountain View Blvd.) – 30 feet
 4. There shall be no interior side yard or interior rear yard requirement for fences and masonry walls.
- B. *Maximum Number of Dwelling Units* – The maximum number of dwelling units shall be 69 in this subdistrict with a maximum of one dwelling unit per lot.
- C. *Structure Standards* – Structures shall adhere to the height requirements as follows:
1. Maximum Height – 35 feet
 2. Minimum Living Area – 2,000 square feet
- D. *Minimum Off-street Parking* – Each dwelling unit shall have not less than a two (2) car garage which shall be attached and integrated into the design of the dwelling structure.
- E. *Building Design Standards* – The buildings shall be constructed in accordance with the residential building elevations in **Exhibit “C”**, which have been provided by the property owner as a standard for construction of future buildings.
- F. *Block Variety* – In order to avoid monotonous block patterns, this subdistrict shall incorporate the following elements.
1. Alternating Elevations
 - a. The same elevation, as defined, shall not be used within any 10-lot grouping as defined by two adjacent lots on either side of the subject property and the 5 lots immediately across the street from those same lots.
 - b. When a block contains more than one, 10-lot grouping, the same elevations shall not be used within 2 lots on the same side(s) and directly across the street of subject site.

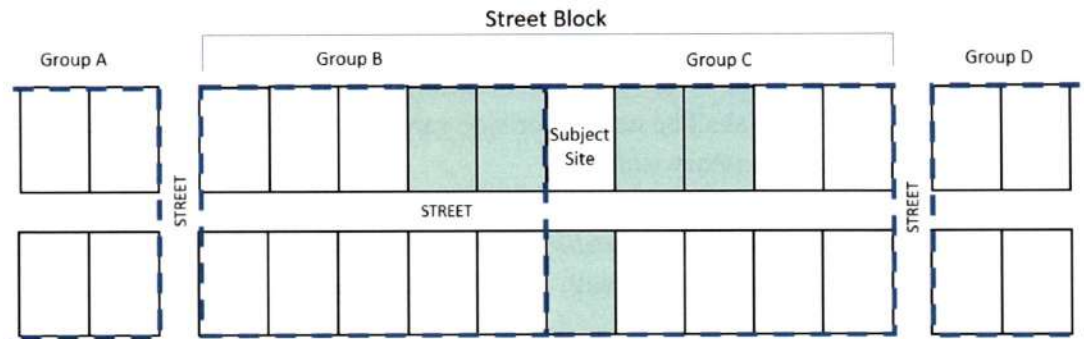


Illustration 12.1 Architectural Variety

2. Building Mass and Form

- a. The front elevations shall incorporate at least three of the following design features to provide a visual relief. Additional design features may be approved by the Planning Director or Building Official at the time of building permit.
 - 1. Dormers;
 - 2. Shutters;
 - 3. Gables;
 - 4. Enhanced roof line;
 - 5. Recessed entries, minimum of three feet deep;
 - 6. Covered porches;
 - 7. Cupola;
 - 8. Bay Windows, with a minimum of 24-inch projection.

- 3. Garage Design – Front entry garages shall be offset by a minimum of 3 feet from the building and the total width of the garage door(s) shall not occupy more than 40 percent of the ground-floor elevation. The offset shall not encroach onto the required yard setback.

G. Sidewalks –

- 1. A 4-foot sidewalk shall be installed along the front of each lot, by the house builder at the time of construction, for each single-family residential dwelling.
- 2. A 4-foot sidewalk shall be installed when not fronting a lot, by the developer at the time of construction for the streets and infrastructure, to ensure connectivity within the neighborhood.

SECTION 13 – ROAD DESIGN.

- A. A consistent street section width of 37 feet is required along Anderson Road, north of Fountain View Boulevard, up to Mansfield Road.

B. All residential streets shall have a minimum width of 31 feet where there is no programmed, on-street parking.

SECTION 14 – HOMEOWNERS’ OR PROPERTY OWNERS’ ASSOCIATION. A

Homeowners’ Association or Property Owners’ Association shall be established for the maintenance of the open space (depicted as Tract 5 on the Concept Plan) and all other common areas, and walls/fences that traverse more than one lot. The incorporating documents shall be provided prior to the recordation of the plat.

SECTION 15 – CONFLICTS. This ordinance shall be cumulative of all provisions of ordinances and of the Code of Ordinances for the City of Cedar Hill, Texas, as amended, except where the provisions of this ordinance are in direct conflict with the provisions of such ordinances and such Code, in which event, conflicting provisions of such ordinances and Code are hereby superseded.

SECTION 16 – SEVERABILITY. The terms and provisions of this ordinance shall be deemed to be severable and if the validity of any section, subsection, sentence, clause or phrase of this ordinance should be declared to be invalid, the same shall not affect the validity of any other section, subsection, sentence, clause or phrase of this Ordinance.

SECTION 17 – EFFECTIVE DATE. Because of the nature of the interests sought to be protected and of the safeguards sought to be provided by this Ordinance, and in the interest of the health, safety, and welfare of the citizens of Cedar Hill, Texas, this Ordinance shall take effect immediately after its passage, approval, and publication as required by law. The City Secretary is hereby authorized and directed to cause publication of the descriptive caption hereof as an alternative method of publication provided by law.


SECTION 18 – PUBLICATION. The City Secretary is hereby authorized and directed to cause publication of the descriptive caption and penalty clause hereof as an alternative method of publication provided by law.

PASSED AND APPROVED by the City Council, the City of Cedar Hill, on this the 25th day of February 2020.




Stephen Mason, Mayor
City of Cedar Hill, Texas

ATTEST:



Belinda Berg
City Secretary

APPROVED AS TO FORM:



Ron G. MacFarlane, Jr.
City Attorney

FIELD NOTES for 25.11 Acres Proposed Planned Development

BEING all of four tracts or parcels of land located in the JOHN N. GAINER SURVEY, ABSTRACT NO. 492, City of Cedar Hill, Dallas County, Texas, and being same tracts of land described in deed to Thomas M. Gaubert recorded in Instrument No. 201400231098, Official Public Records, Dallas County, Texas (OPRDCT) and in deed to Harwood Funds LLC recorded in Instrument No. 201800260416, OPRDCT, and being more particularly described as follows:

BEGINNING at a 1/2 iron found in the East line of Anderson Road, an 80' right-of-way, at the Southwest corner of a tract of land described in deed to Southstar at Lake Ridge LLC, recorded in Instrument No. 2012001311652 OPRDCT;

THENCE South 73 degrees 50 minutes 07 seconds East, leaving said east right-of-way line a distance of 465.72 feet to a 1/2 iron found with a yellow plastic cap stamped "RPLS 5310" set in the Northwest line of Lake Ridge Section 4, Parcel F-R, an Addition to the City of Cedar Hill, Dallas County, Texas, according to the plat thereof recorded in Volume 2002210, Page 72, Deed Records, Dallas County, Texas, and at the Southeast corner of said Southstar at Lake Ridge LLC tract;

THENCE South 34 degrees 10 minutes 48 seconds West, along said Northwest line a distance of 365.11 feet to a 1/2 iron found with a yellow plastic cap stamped "RPLS 5310" at the most westerly Southwest corner of said Lake Ridge Section 4;

THENCE South 61 degrees 49 minutes 22 seconds East, continuing along the said Lake Ridge Section 4 line, a distance of 184.69 feet to an angle point;

THENCE South 29 degrees 26 minutes 16 seconds West, leaving said line, a distance of 151.14 feet to a point in the south right-of-way line of Fountain View Boulevard (50' ROW) at the point of a non-tangent curve to the right having a radius of 432.53 feet, a central angle of 10°00'23" and a chord bearing S 52°57'27"E, for a distance of 74.88 feet;

THENCE Southeasterly along said curve to the right an arc distance of 75.54 feet to a point of tangency;

THENCE South 47 degrees 59 minutes 29 seconds East, along said south line, a distance of 67.16 feet to a tangent curve to the right having a radius of 475.00 feet, a central angle of 06°45'44" and a chord bearing S 44°48'46"E, for a distance of 53.49 feet;

THENCE Southeasterly along said curve to the right an arc distance of 56.06 feet to an angle point at the northwest corner of Lot 381R of the Lake Ridge Section 4, Phase 2 Addition as recorded in Volume 2003014, Page 108, Deed Records, Dallas County, Texas (DRDCT);

THENCE South 18 degrees 46 minutes 57 seconds West, continuing along the west line of said Lot 381R, a distance of 111.24 feet to an angle point;

THENCE South 36 degrees 28 minutes 12 seconds East, continuing along the west line of said Lot 381R, a distance of 65.14 feet to an angle point;

THENCE South 01 degrees 09 minutes 11 seconds East, continuing along the west line of said Lake Ridge Section 4, Phase 2, at a distance of 142.09 feet passing the southwest corner of Lake Ridge Section 4, phase 2 and the northwest corner of Lake Ridge Section 2 as recorded in Volume 95157, Page 974, DRDCT, and a total distance of 523.39 feet to an angle point at the southwest corner of Lot 81 of said Lake Ridge Section 2;

THENCE South 53 degrees 14 minutes 52 seconds West, continuing along the west line of said Lake Ridge Section 2, a distance of 586.97 feet to a point at the most westerly northwest corner of said Lake Ridge Section 2 and also being in the east line of said Anderson Road;

THENCE North 00 degrees 35 minutes 18 seconds East, along the east line of said Anderson Road, a distance of 349.89 feet to an angle point;

THENCE North 89 degrees 24 minutes 25 seconds West, leaving the east line of said Anderson Road, a distance of 80.00 feet to an angle point in the west line of said Anderson Road;

THENCE North 02 degrees 59 minutes 12 seconds West, continuing along the west line of said Anderson Road, a distance of 452.83 feet to an angle point;

THENCE North 33 degrees 14 minutes 13 seconds West, leaving the west line of said Anderson Road, a distance of 981.16 feet to an angle point;

THENCE North 01 degrees 48 minutes 32 seconds West, a distance of 194.89 feet to an angle point in the south line of a tract of land owned by the U.S. Army Corp of Engineers;

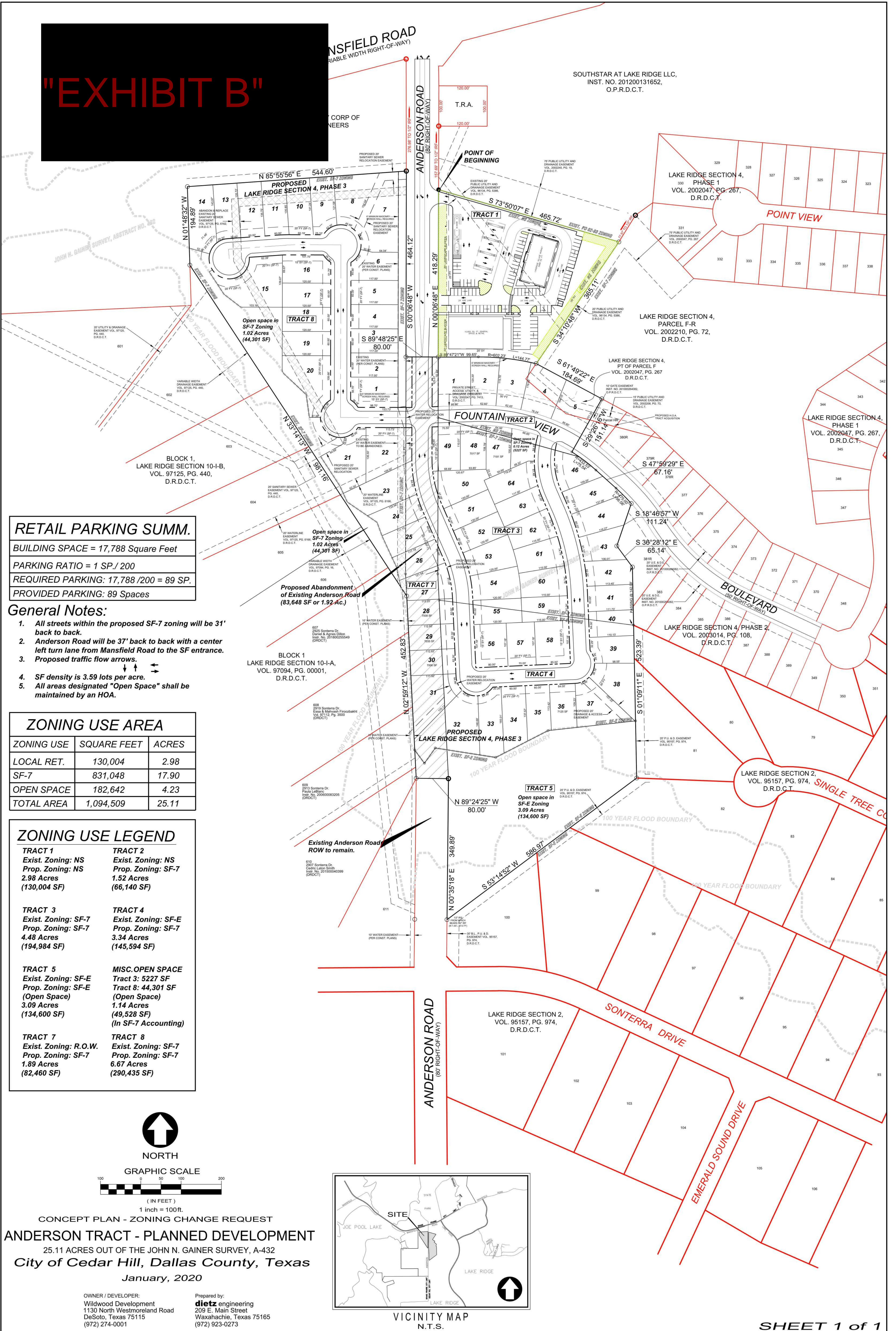
THENCE North 85 degrees 55 minutes 56 seconds East, along the south line of said Corp tract, a distance of 544.60 feet to an angle point in the west line of said Anderson Road;

THENCE South 00 degrees 06 minutes 48 seconds West, along the west line of said Anderson Road, a distance of 464.12 feet to an angle point;

THENCE South 89 degrees 48 minutes 25 seconds East, leaving the west line of said Anderson Road, a distance of 80.00 feet to an angle point in the East line of said Anderson Road;

THENCE North 00 degrees
Anderson Road, a distance of 418.29 feet to the POINT OF BEGINNING and containing
1,094,509 square feet or 25.11 acres of land.

"EXHIBIT B"



RETAIL PARKING SUMM.

BUILDING SPACE = 17,788 Square Feet
PARKING RATIO = 1 SP./200
REQUIRED PARKING: 17,788 / 200 = 89 SP.
PROVIDED PARKING: 89 Spaces

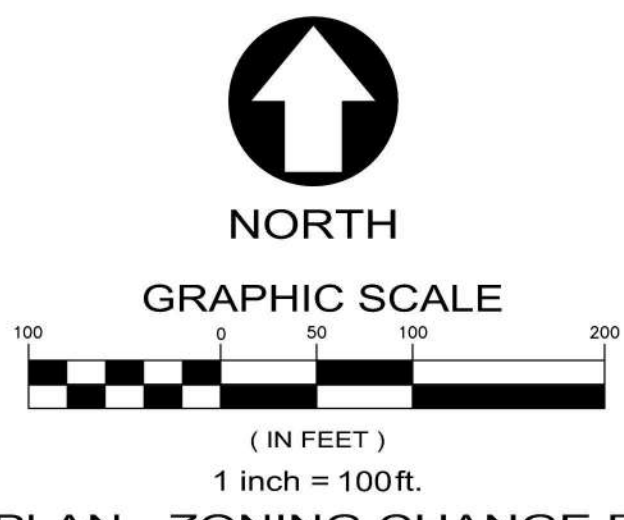
- General Notes:**
- All streets within the proposed SF-7 zoning will be 31' back to back.
 - Anderson Road will be 37' back to back with a center left turn lane from Mansfield Road to the SF entrance.
 - Proposed traffic flow arrows.
 - SF density is 3.59 lots per acre.
 - All areas designated "Open Space" shall be maintained by an HOA.

ZONING USE AREA

ZONING USE	SQUARE FEET	ACRES
LOCAL RET.	130,004	2.98
SF-7	831,048	17.90
OPEN SPACE	182,642	4.23
TOTAL AREA	1,094,509	25.11

ZONING USE LEGEND

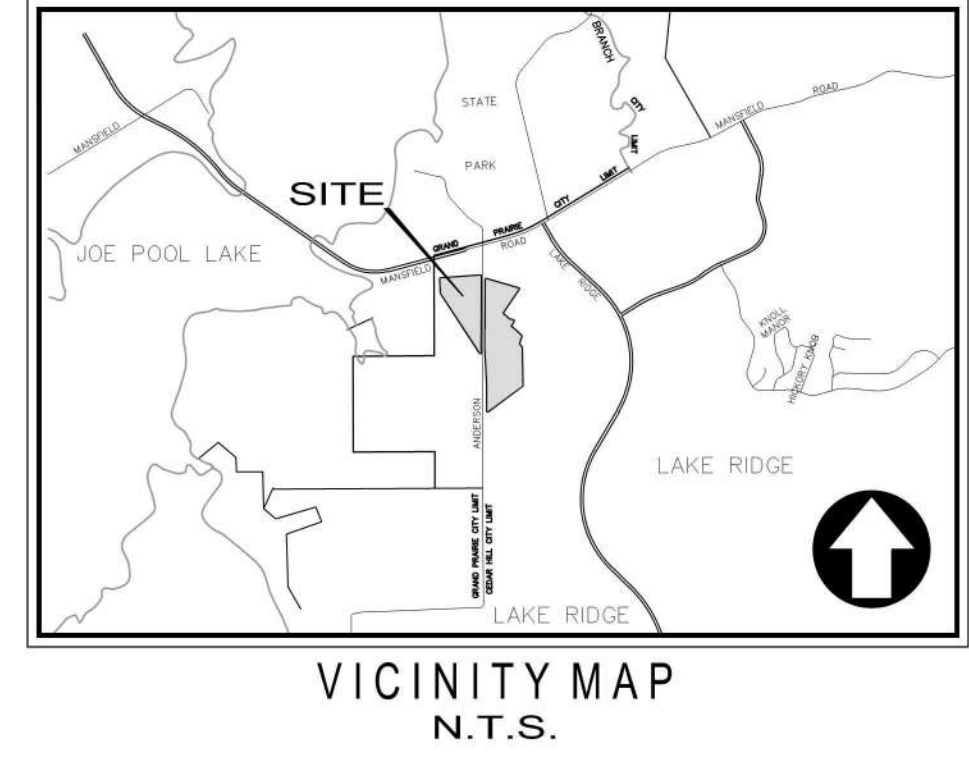
TRACT 1 Exist. Zoning: NS Prop. Zoning: NS 2.98 Acres (130,004 SF)	TRACT 2 Exist. Zoning: NS Prop. Zoning: SF-7 1.52 Acres (66,140 SF)
TRACT 3 Exist. Zoning: SF-7 Prop. Zoning: SF-7 4.48 Acres (194,984 SF)	TRACT 4 Exist. Zoning: SF-E Prop. Zoning: SF-7 3.34 Acres (145,594 SF)
TRACT 5 Exist. Zoning: SF-E Prop. Zoning: SF-E (Open Space) 3.09 Acres (134,600 SF)	MISC. OPEN SPACE Tract 3: 5227 SF Tract 8: 44,301 SF (Open Space) 1.14 Acres (49,528 SF) (In SF-7 Accounting)
TRACT 7 Exist. Zoning: R.O.W. Prop. Zoning: SF-7 1.89 Acres (82,460 SF)	TRACT 8 Exist. Zoning: SF-7 Prop. Zoning: SF-7 6.67 Acres (290,435 SF)



CONCEPT PLAN - ZONING CHANGE REQUEST
ANDERSON TRACT - PLANNED DEVELOPMENT
 25.11 ACRES OUT OF THE JOHN N. GAINER SURVEY, A-432
 City of Cedar Hill, Dallas County, Texas
 January, 2020

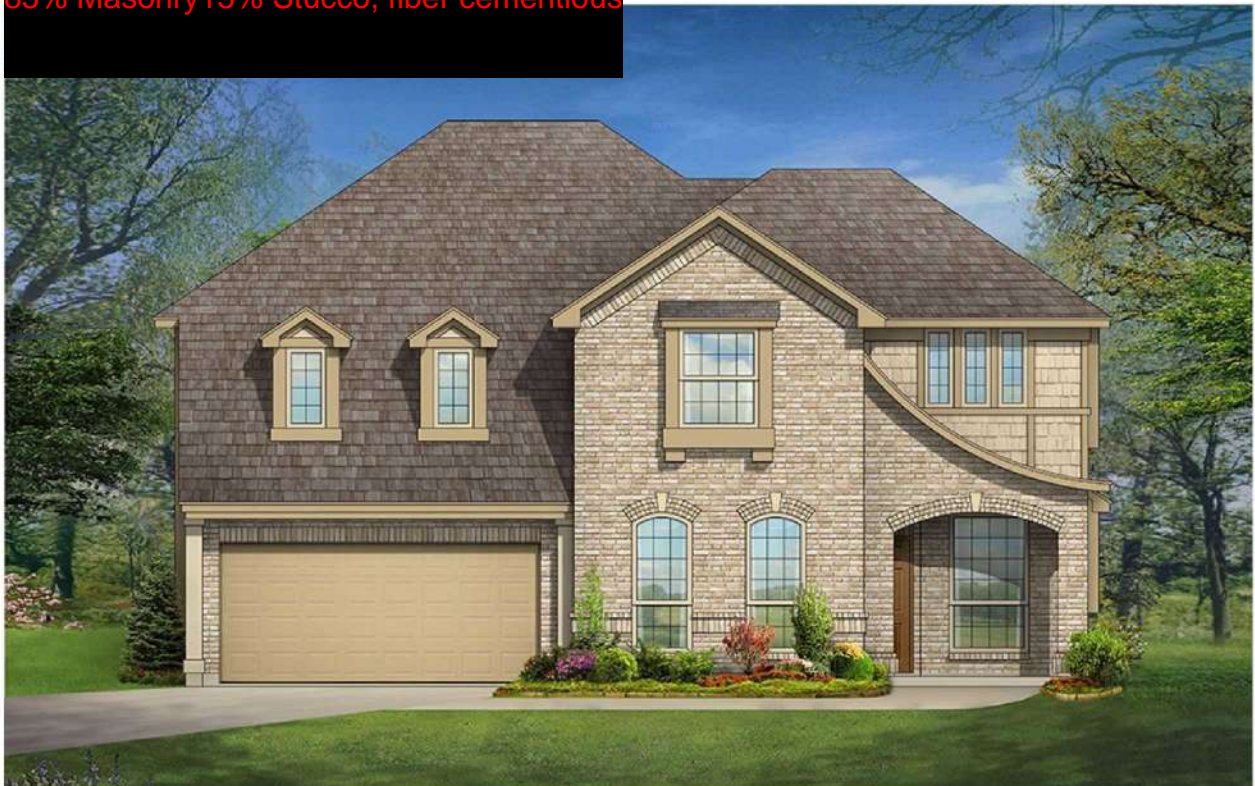
OWNER / DEVELOPER:
 Wildwood Development
 1130 North Westmoreland Road
 DeSoto, Texas 75115
 (972) 274-0001

Prepared by:
dietz engineering
 209 E. Main Street
 Waxahachie, Texas 75165
 (972) 923-0273





85% Masonry 15% Stucco, fiber cementious



85% Masonry 15% Stucco, fiber cementious



85% Masonry 15% Stucco, fiber cementious



85% Masonry 15% Stucco, fiber cementious

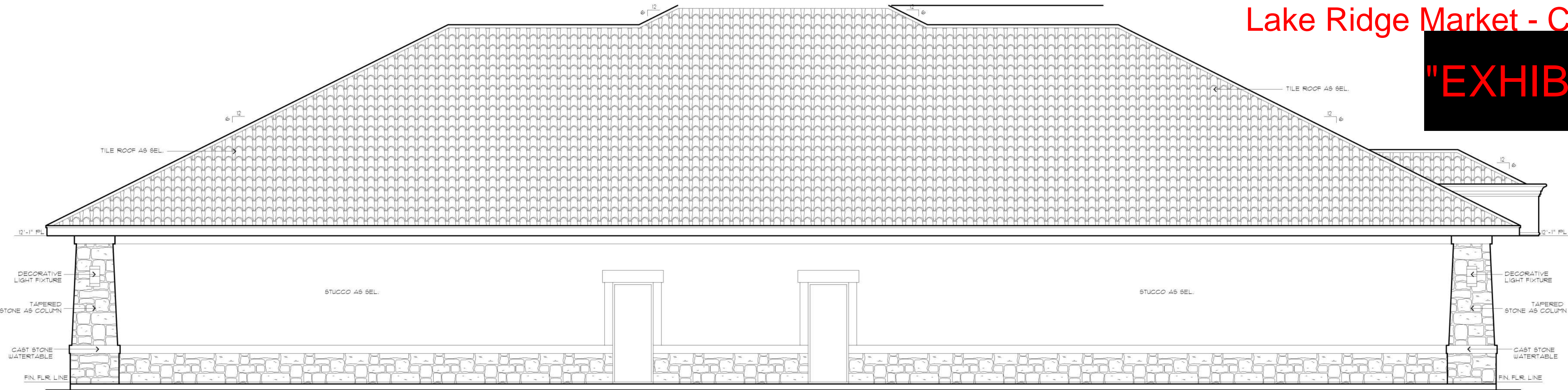


85% Masonry 15% Stucco, fiber cementious

Lake Ridge Market - Concept Elevations

"EXHIBIT D" page

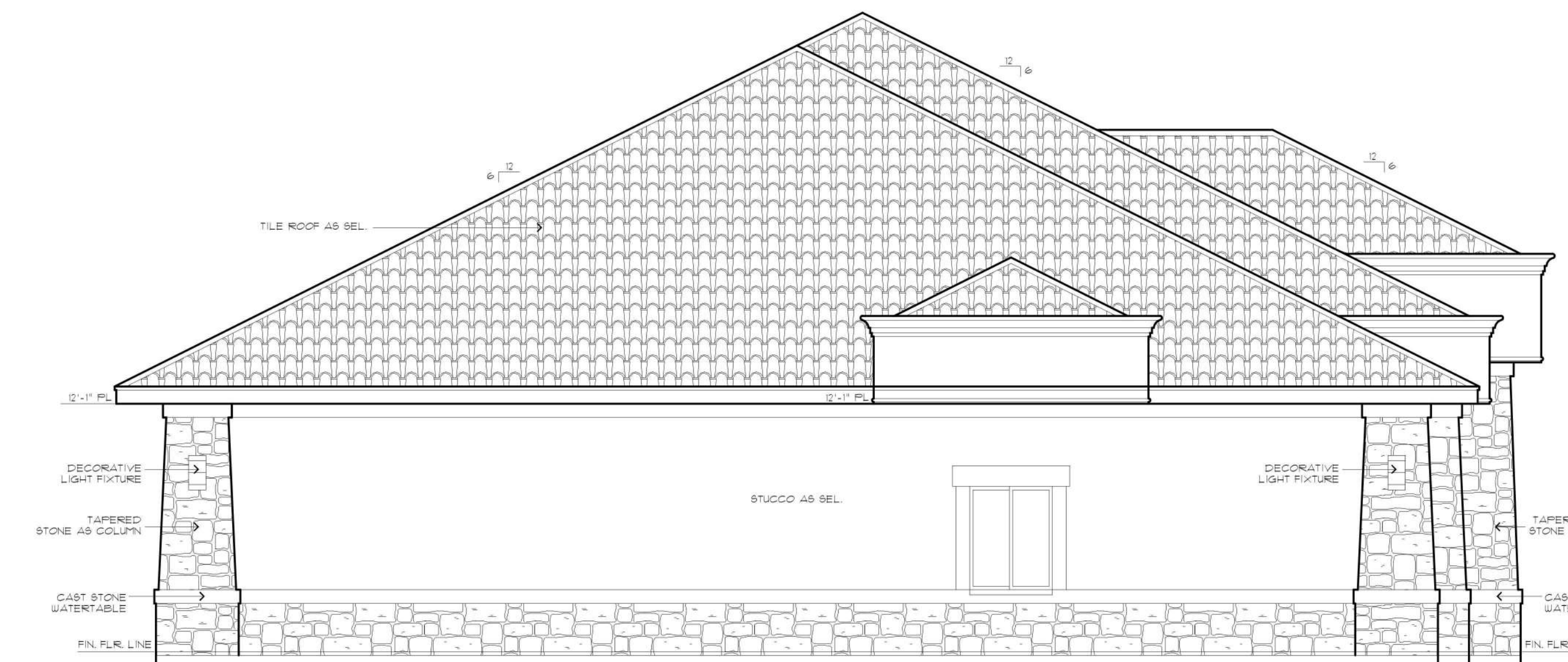
hba
 harold baek architects
 5353 alpha road suite 200
 dallas, texas 75240
 phone: 972 661-8778
 fax: 972 661-8780



1 **SOUTHEAST ELEVATION**
 SCALE: 3/16" = 1'-0"

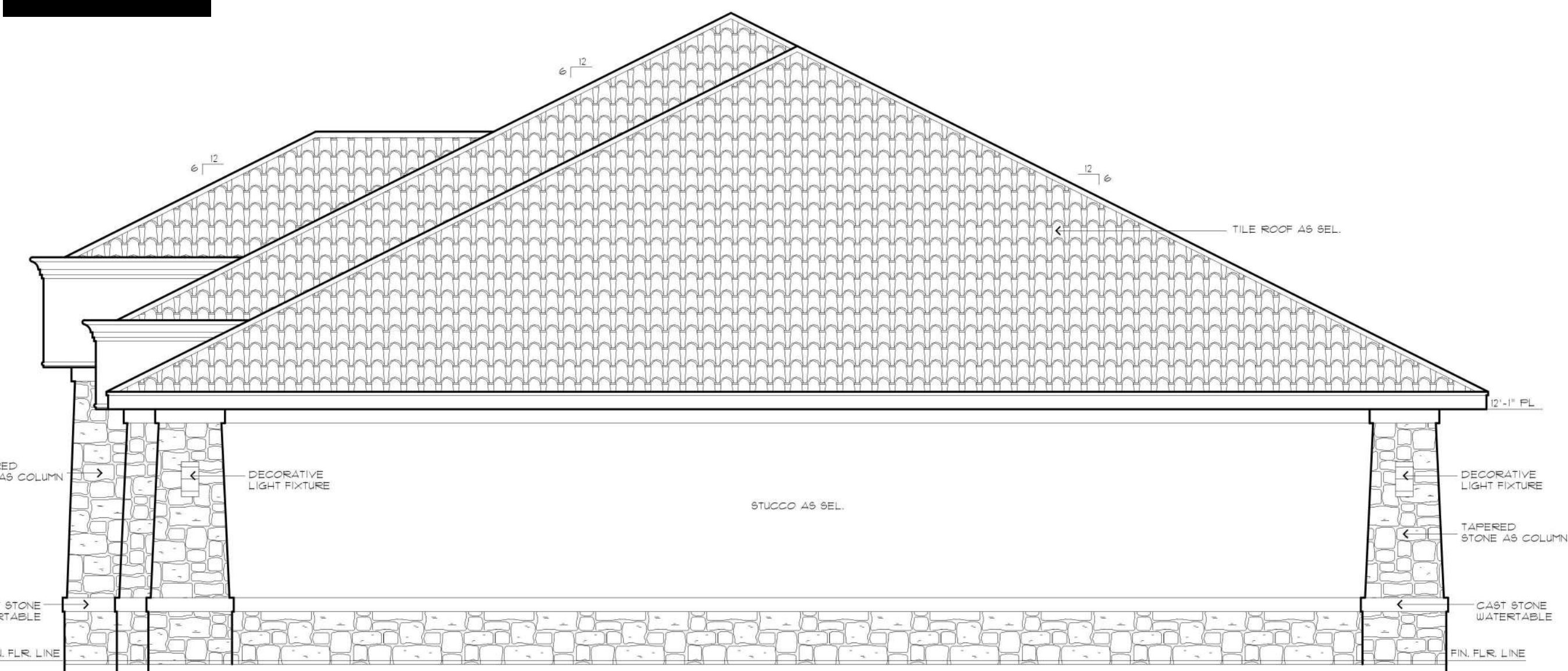
36% masonry
64% Stucco

- ELEVATION NOTES:**
- 1) WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING
 - 2) ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY THE BUILDING INSPECTION DEPARTMENT.
 - 3) ATTIC ACCESS SHALL BE PROVIDED INTERNALLY.
 - 4) FINISH FLOOR LEVEL TO BE AT LEAST 12" (1'-0") ABOVE HIGHEST ADJACENT CONTIGUOUS LEVEL.
 - 5) BUILDING SHALL BE PROVIDED WITH APPROVED ADDRESS NUMBERS OR LETTERS. BUILDING NUMBERS MUST MEET THE CITY ORDINANCE SPECIFIED BY THE FIRE CODE AMENDMENTS. THEY SHALL BE INSTALLED ON A CONTRASTING BACKGROUND AND BE FLANLY VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY, WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CAN NOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER APPROVED SIGNOR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE.
 - 6) PAINTED GALVANIZED FLASHING IN ALL AREAS WHERE METAL ROOFING CONTACTS MASONRY. GALVANIZED FLASHING TO MATCH COLOR OF METAL ROOFING.



1 **NORTHEAST ELEVATION**
 SCALE: 3/16" = 1'-0"

46% masonry
54% Stucco



1 **SOUTHWEST ELEVATION**
 SCALE: 3/16" = 1'-0"

41% masonry
59% Stucco



1 **NORTHWEST ELEVATION**
 SCALE: 3/16" = 1'-0"

80% masonry
20% Stucco

revisions	date
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NOTES:

1. FOUNDATION & SOURCE LABS TO BE DESIGNED STRUCTURAL ENGINEER IN COMPLIANCE WITH GEOTECHNICAL RESULTS.
- 2) ALL WORK TO COMPLY WITH ADA CODE REQUIREMENTS.

project no. _____
 scale: 3/16" = 1'-0"
 date: DECEMBER 18, 2019
 file no. : _____
 issue date: _____

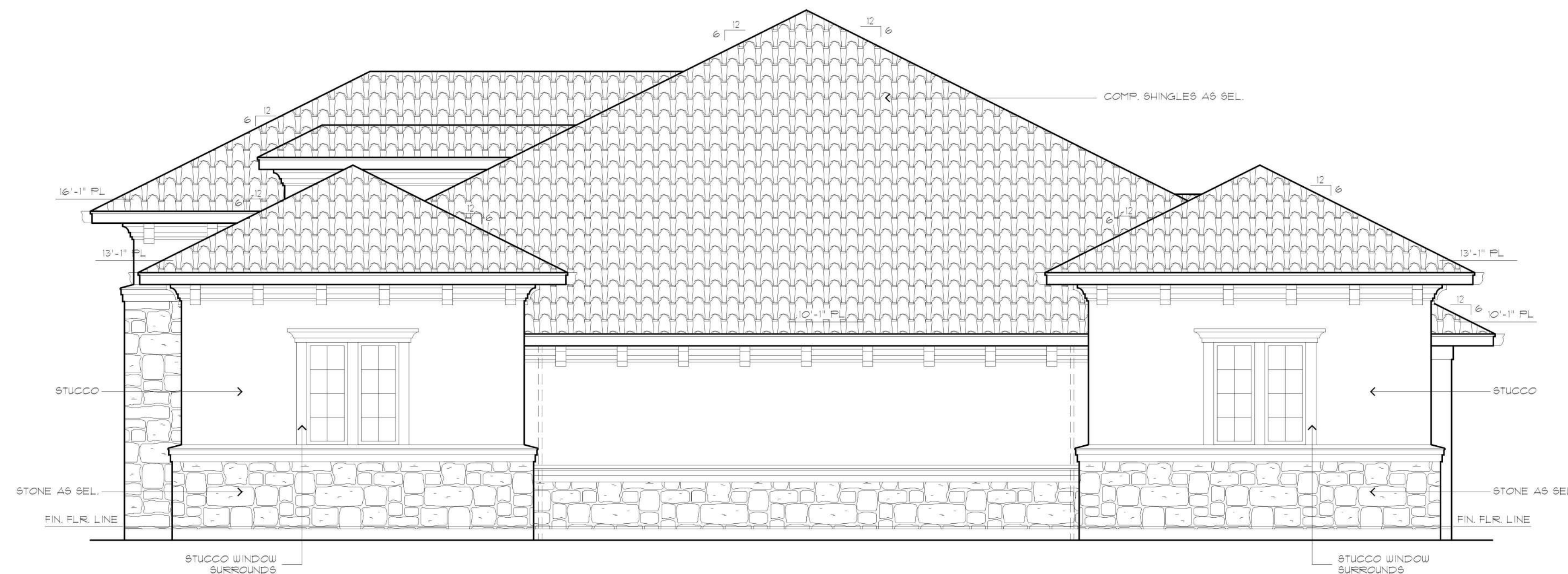
A4.0
 sheet no. 6 of 17 sheets

sheet description :
 ATTIC STORAGE PLAN

PROPOSED VILLAGE MARKET
 project:
 LAKE RIDGE VILLAGE MARKET & GAS

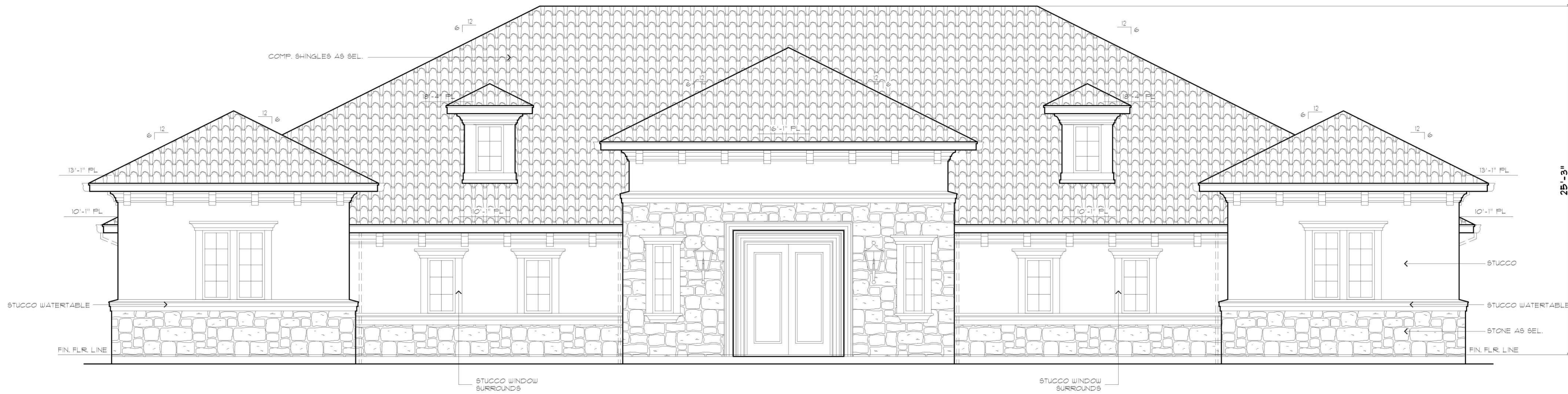
Office/Retail Building Concept Elevations - A
"EXHIBIT D"page 2 of

85% Masonry15% Stucco, fiber cementious



① **SOUTHEAST ELEVATION**
 SCALE: 1/4" = 1'-0"

65% Masonry 45% Stucco



① **SOUTHWEST (FRONT) ELEVATION**
 SCALE: 1/4" = 1'-0"

67% Masonry 33% Stucco

revisions	date
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- NOTES:
- 1) ALL WORK TO COMPLY WITH ADA CODE REQUIREMENTS.
 - 2) BUILDING TO BE FIRE SPRINKLERED.

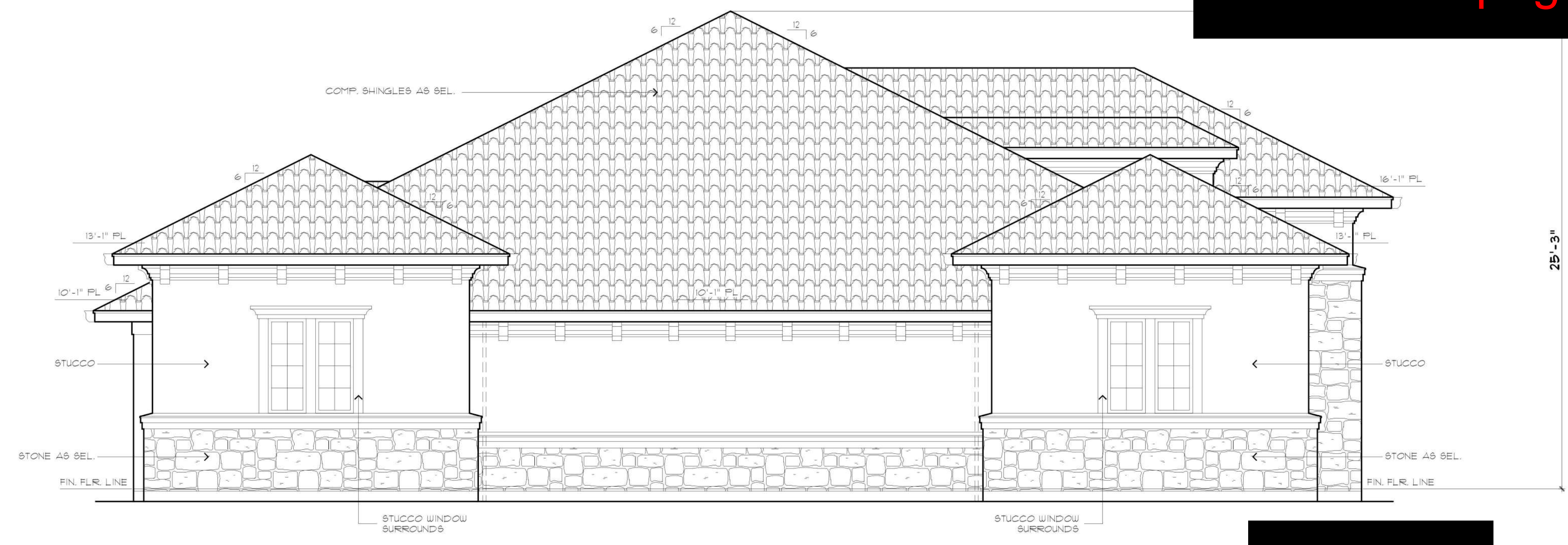
project no. _____
 scale: 1/4" = 1'-0"
 date: DECEMBER, 18, 2019
 file no. : _____
 issue date: _____

A4-0
 sheet no. 6 of 14 sheets

sheet description :

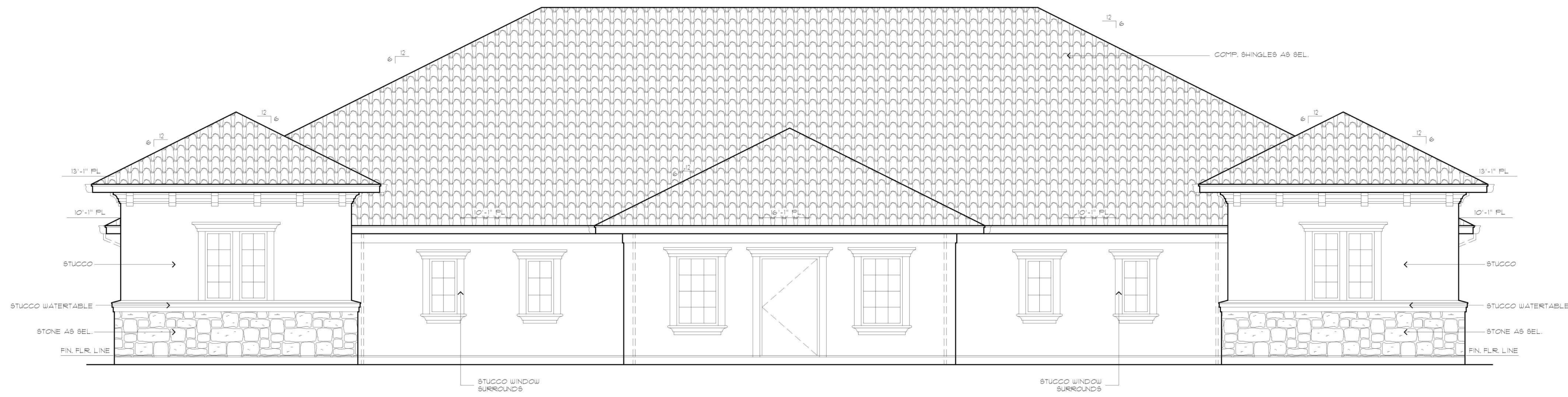
PROPOSED OFFICE BUILDING
 project:
 LAKE RIDGE VILLAGE
 GENERAL OFFICES

hba
 harold baek architects
 5353 alpha road suite 200
 dallas, texas 75240
 phone: 972 661-8778
 fax: 972 661-8780



1 NORTHWEST ELEVATION
 SCALE: 1/4" = 1'-0"

55% Masonry 45% Stucco



1 NORTHEAST ELEVATION
 SCALE: 1/4" = 1'-0"

20% Masonry 70% Stucco

revisions	date
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	

- NOTES:
- 1) ALL WORK TO COMPLY WITH ADA CODE REQUIREMENTS.
 - 2) BUILDING TO BE FIRE SPRINKLERED.

project no. _____
 scale: 1/4" = 1'-0"
 date: DECEMBER, 18, 2019
 file no. : _____
 issue date: _____

A5-0
 sheet no. 7 of 14 sheets

sheet description :

PROPOSED OFFICE BUILDING
 project:
 LAKE RIDGE VILLAGE
 GENERAL OFFICES