

**ORDINANCE NO. 95-221**

**AN ORDINANCE PROVIDING FOR AMENDMENTS TO THE GENERAL ZONING ORDINANCE OF THE CITY OF CEDAR HILL, TEXAS, BEING ORDINANCE NO. 77-439; PROVIDING A CHANGE IN ZONING FROM SINGLE FAMILY DETACHED, WITH 10,000 SQUARE FOOT LOTS, WITHIN A PLANNED DEVELOPMENT DISTRICT (ORDINANCE NO. 86-862) TO ESTATE SINGLE FAMILY DWELLING WITHIN A PLANNED DEVELOPMENT DISTRICT ON LAND SPECIFICALLY DESCRIBED HEREIN; PROVIDING FOR ADDITIONAL REGULATIONS; AND PROVIDING FOR IMMEDIATE EFFECT.**

**WHEREAS**, a Request for Change in Zoning Classification was duly filed with the City of Cedar Hill, Texas, concerning the hereinafter described property; and

**WHEREAS**, due notice of hearing was made in the time and manner prescribed by law and the Planning and Zoning Commission of the City of Cedar Hill, Texas, duly convened and conducted a public hearing for the purpose of assessing a zoning classification change on the hereinafter described property located in the City of Cedar Hill, Texas; and

**WHEREAS**, an additional opportunity for all interested persons to be heard was provided by the City Council of the City of Cedar Hill, Texas, at an open meeting, with proper notices posted;

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CEDAR HILL, TEXAS, THAT:**

**SECTION 1.** The legal description of the property zoned herein is generally described as a tract or parcel of land situated in the John Gainer Survey, Abstract No. 492, containing approximately 43.819 acres of land, and being more particularly described in Exhibit "A" attached hereto.

**SECTION 2.** The zoning classification on the hereinabove described property is hereby changed from Single Family Detached, with 10,000 square foot lots, within a Planned Development District to Estate Single Family Dwelling within a Planned Development District.

**SECTION 3.** The property zoned herein shall have additional regulations as set forth in "Exhibit B" attached hereto. Such regulations are hereby officially adopted, approved and ordered as a part of the Estate Single Family Dwelling within a Planned Development District zoned herein.

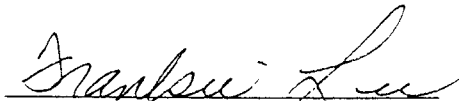
**SECTION 4.** The zoning classification of this Estate Single Family Dwelling within a Planned Development District will take immediate effect after the passage of this Ordinance by the City Council of the City of Cedar Hill, Texas.

**PASSED, ADOPTED AND APPROVED** by the City Council of the City of Cedar Hill, Texas,  
on this the 22nd day of August, 1995.



Chris L. Rose, Mayor

ATTEST:

  
Frankie Lee, City Secretary

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JOHN N. GAINER  
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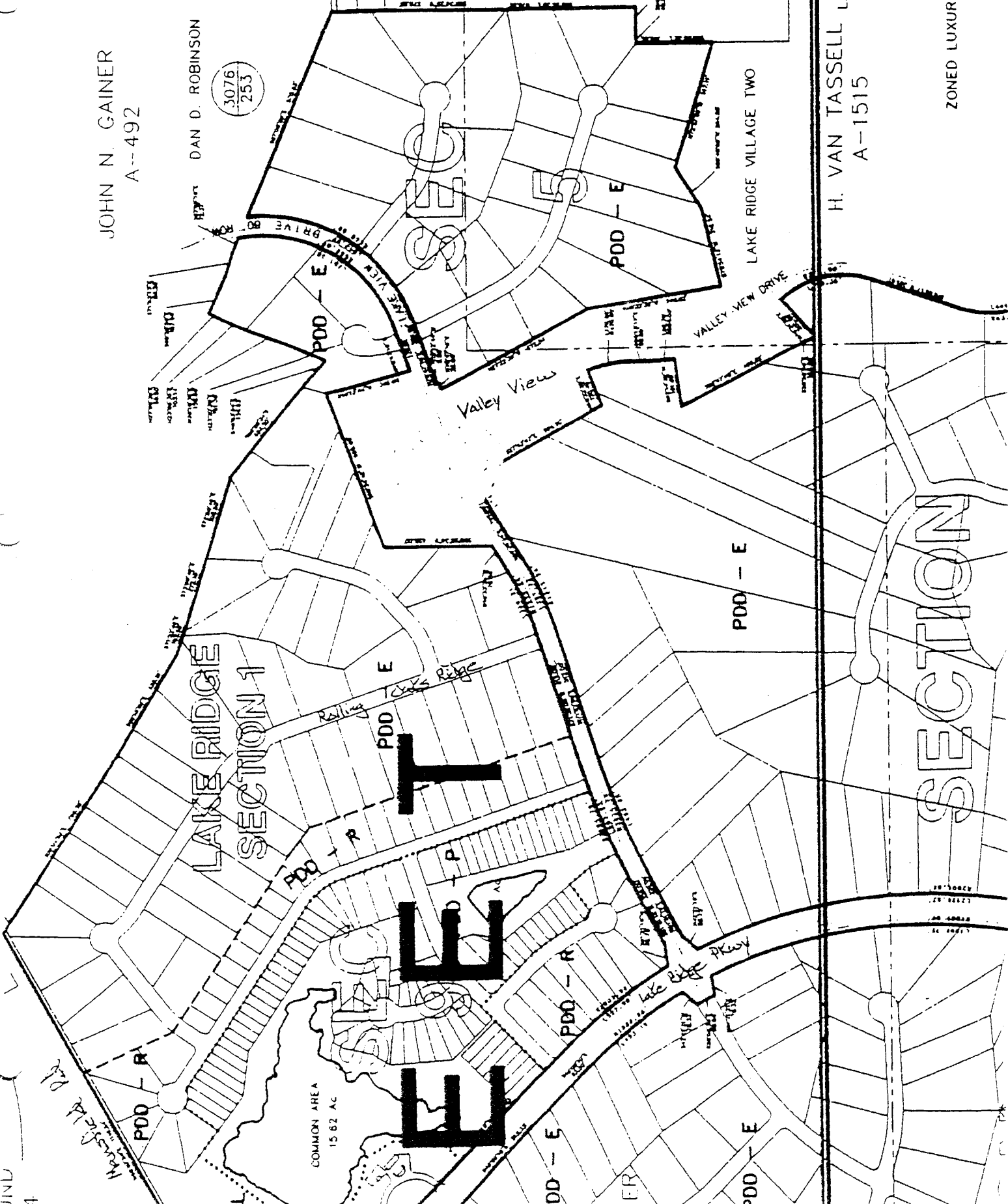
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H. VAN TASSELL  
LAKE RIDGE VILLAGE  
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ZONED LUXURY HOMES (10,000 S



LAKE RIDGE  
SECTION 1

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SECTION 2

COMMON AREA  
15.62 AC

Valley View

Railway Ticks Ridge

LAKE RIDGE VILLAGE TWO

VALLEY VIEW DRIVE

VALLEY VIEW DRIVE

VALLEY VIEW DRIVE

VALLEY VIEW DRIVE

VALLEY VIEW DRIVE

VALLEY VIEW DRIVE

VALLEY VIEW DRIVE

## EXHIBIT "A"

## LEGAL DESCRIPTION

All that certain lot, tract or parcel of land situated in the John Gainer Survey, Abstract No. 492, Dallas County, Texas, and being part of a tract of land conveyed to J.C. Calabria by Deed recorded in Volume 4788, Page 597 of the Deed Records of Dallas County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod set for corner at the intersection of the Southeast line of Lakeview Drive (80' R.O.W.) with the Northeast line of Lake Ridge Village II, Wildwood Subdivision Section 1, as recorded in Volume 86056, Page 4176 of the Map Records of Dallas County, Texas;

THENCE N. 70 deg. 47 min. 16 sec. E along the Southeast line of Lakeview Drive, a distance of 25.00 feet to a 1/2" iron rod set for corner;

THENCE N. 19 deg. 12 min. 44 sec. W. along the Southeast line of Lakeview Drive, a distance of 9.90 feet to a 1/2" iron rod set for corner;

THENCE N. 70 deg. 47 min. 16 sec. E. a distance of 265.09 feet along the Southeast line of Lakeview Drive to an iron rod set for a corner;

THENCE in a Northeasterly direction, along the Southeast line of Lakeview Drive, along a curve to the left having a central angle of 75 deg. 33 min. 28 sec., a radius of 640.00 feet, a chord bearing of N. 32 deg. 59 min. 13 sec. E., a chord length of 784.15 feet, an arc length of 843.99 feet to a 1/2" iron rod set for corner;

THENCE S. 67 deg. 05 min. 59 sec. E. leaving the Southeast line of Lakeview Drive, a distance of 875.93 feet to a 1" iron pipe found for corner;

THENCE along a fence line as follows:

S. 01 deg. 24 min. 07 sec. E. a distance of 58.09 feet to a 1/2" iron rod set for corner;

S. 00 deg. 37 min. 42 sec. W. a distance of 102.18 feet to a 1/2" iron rod set for corner;

S. 00 deg. 44 min. 11 sec. E. a distance of 103.99 feet to a 1/2" iron rod set for corner;

S. 00 deg. 34 min. 25 sec. W. a distance of 279.55 feet to a 1/2" iron rod set for corner;

S. 00 deg. 28 min. 28 sec. E. a distance of 679.80 feet to a 1/2" iron rod set for corner;

S. 89 deg. 55 min. 28 sec. W. a distance of 94.60 feet to a 1/2" iron rod set for corner;

S. 88 deg. 09 min. 28 sec. W. a distance of 48.00 feet to a 1/2" iron rod set for corner;

S. 00 deg. 09 min. 32 sec. E. a distance of 310.55 feet to a 1/2" iron rod set for corner at the most Northerly Northeast corner of Lake Ridge Village II, Wildwood Subdivision Section 2 as recorded in Volume 86176, Page 2173 of the Map Records of Dallas County, Texas;

THENCE N. 72 deg. 37 min. 06 sec. W. along the North line of said Subdivision, a distance of 517.11 feet to a 1/2" iron rod set for corner;

THENCE S. 59 deg. 40 min. 00 sec. W. along the North line of said Subdivision, a distance of 204.23 feet to a 1/2" iron rod set for corner at the common North corner of said Subdivision with the Northerly line of Lake Ridge Village II, Wildwood Subdivision Section 1;

THENCE S. 75 deg. 54 min. 13 sec. W. along the Northerly line of Section 1, a distance of 316.24 feet to a 1/2" iron rod set for corner;

THENCE N. 08 deg. 32 min. 32 sec. W. along the East line of Section 1, a distance of 548.62 feet to a 1/2" iron rod set for corner;

THENCE N. 27 deg. 22 min. 39 sec. W. along the East line of Section 1, a distance of 672.54 feet to the POINT OF BEGINNING, and containing 43.819 acres of land.

**EXHIBIT "B"**

**PLANNED DEVELOPMENT REGULATIONS ON 43.819 ACRES OF LAND  
OUT OF THE JOHN GAINER SURVEY, ABSTRACT 492**

**USE REGULATIONS:**

No land shall be used and no building shall be erected for or converted to any other than uses permitted in an R-1 Single-Family District.

**HEIGHT REGULATIONS:**

No building shall exceed three (3) stores in height.

**AREA REGULATIONS:**

1. Front Yard.

- a. There shall be a front yard having a minimum depth of not less than fifty (50) feet.
- b. Where lots have a double frontage, running through from one street to another, the required front yard shall be provided on both streets.

2. Side Yard.

There shall be a side yard on each side of the lot, having a width of not less than twenty (20) feet. The side yard of corner lots having adjoining structures fronting on two (2) sides shall have a thirty (30) foot side yard.

3. Rear Yard.

There shall be a rear yard having a depth of not less than twenty (20) feet.

4. Area of Lot.

The minimum area of the lot shall be one (1) acre.

5. Area of Dwelling.

Two thousand (2,000) square feet shall be the minimum living area of the dwelling.

6. Width of Lot.

One hundred thirty (130) feet shall be the minimum width of the lot at the building line with an exception to allow a minimum eighty (80) foot width at the building line for irregular shaped lots with diverging side property lines on cul-de-sacs and curves.

7. Depth of Lot.

The minimum depth of the lot shall be one hundred (100) feet. Lots backing up to major thoroughfares shall be a minimum depth of one hundred forty (140) feet.

8. Parking Regulations:

Each dwelling unit shall have not less than a two (2) car garage. Garage openings shall be side or rear entry.

9. Type of Construction.

A minimum of eighty (80) percent of the exterior of all residential dwellings shall be of masonry and/or glass construction. Chimneys located on the exterior walls shall be of one hundred (100) percent masonry construction. For nonresidential structures, a minimum of one hundred (100) percent masonry construction of the exterior shall be of masonry and/or glass construction. Storage buildings in compliance with Code of Ordinances of the City of Cedar Hill, Section 4-281, need not comply with the provisions of this subsection.

**FENCE REGULATIONS:**

No fencing shall be allowed from the front line of the house to the public right-of-way.

**DRIVEWAY REGULATIONS:**

Driveways shall be one hundred (100) percent reinforced concrete construction.